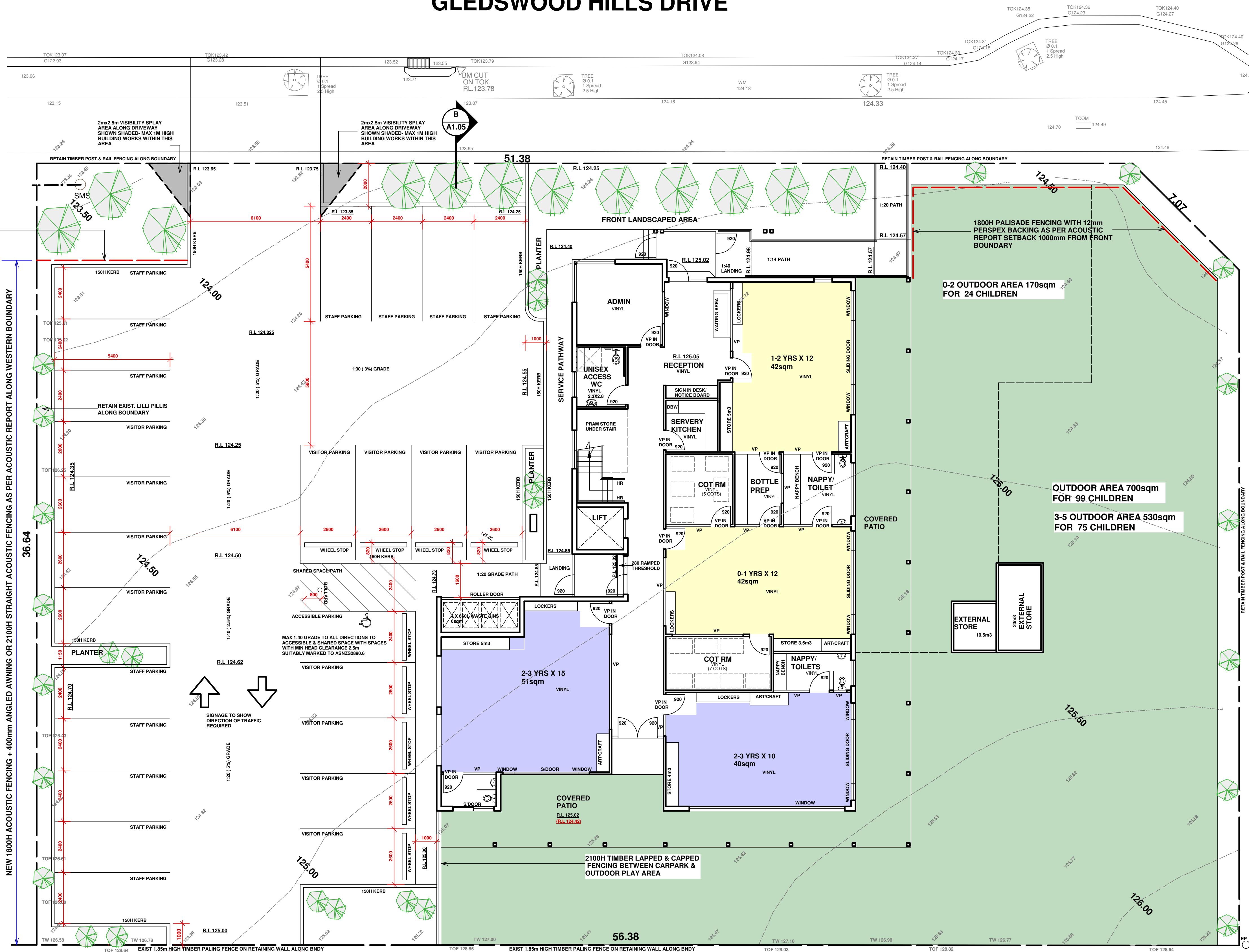


GLEDSWOOD HILLS DRIVE

RETAIN TIMBER POST & RAIL FENCING ALONG BOUNDARY



GROUND FLOOR PLAN

Scale: 1:100

NOTE:
ALL SLIDING DOORS TO HAVE CLEAR OPENING OF 850mm WITH MIN 50mm LATCH SIDE SPACE.
PROVIDE 280mm (1:8) RAMPED THRESHOLDS AT BASE OF EXTERNAL DOORS

GARBAGE BIN ENCLOSURE:
- FLOOR TO HAVE SMOOTH GRADED SURFACE TO FLOOR WASTE,
- MECH EXHAUST TO BE PROVIDED,
- PROVIDE EXTERNAL TAP CLOSE TO ROLLER DOOR,
- AREA TO BE WELL LIT,
- EACH BIN TO BE SUITABLY LABELLED,

SITE CALCULATIONS

SITE AREA	2052.7sqm
TOTAL AREAS	
0-2 KIDS X 24:	84sqm (UNENCUMBERED)
2-3 KIDS X 35:	125sqm (UNENCUMBERED)
3-5 KIDS X 40:	132sqm (UNENCUMBERED)
TOTAL KIDS 99	341sqm (SUITABLE FOR 104 KIDS)
TOTAL CHILD CARE FLOOR AREA:	
	346sqm GROUND FLOOR
	310sqm FIRST FLOOR
	656sqm (FSR 0.32:1)
TOTAL OUTDOOR AREA:	700sqm(SUITABLE FOR 99 KIDS)
TOTAL PARKING SPACES:	25 CHILD CARE SPACES TOTAL (INCLUDING 1 ACCESSIBLE SPACE)

DATE	REV	AMENDMENTS
02.11.21	1	UPDATED ISSUE TO COUNCIL

- DO NOT SCALE FROM DRAWING, USE WRITTEN DIMENSIONS ONLY
- BUILDER TO CHECK AND VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF WORK
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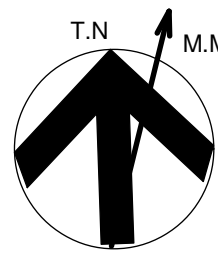
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E-mail: mark@build-design.com.au

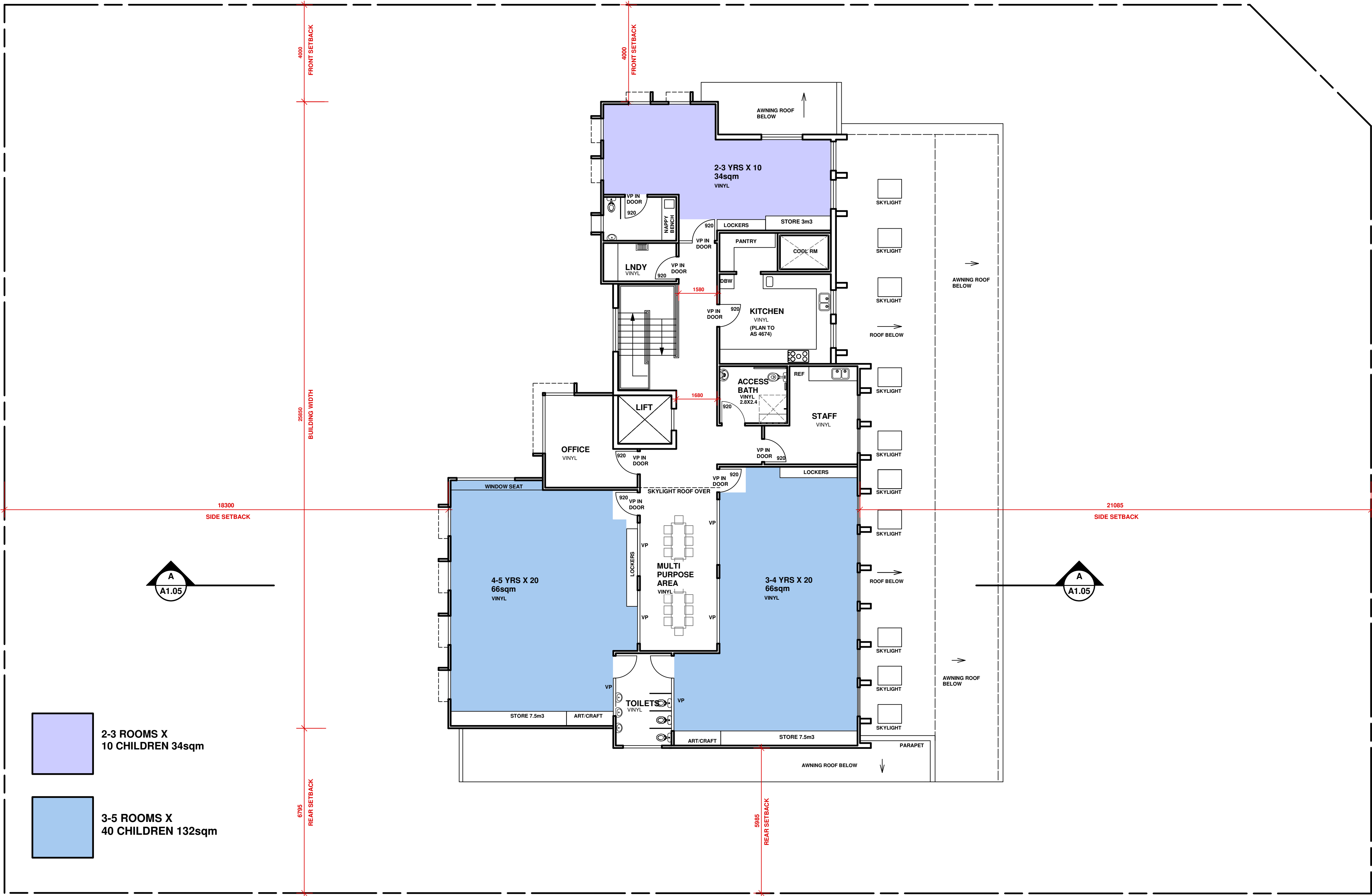
PROJECT :	PROPOSED NEW CHILDCARE LOCATED AT 128-132 GLEDSWOOD HILLS DR GLEDSWOOD HILLS
TITLE:	GROUND FLOOR/ SITE PLAN
SCALE :	1:100 @ A1
DATE :	MAY 2019
PROJECT No.	201912
DRAWN :	MM
CHECKED :	REV: I
DWG No.	A1.01



GLEDSWOOD HILLS DRIVE

MAYFIELD

PLACE



FIRST FLOOR PLAN

Scale: 1:100

SITE CALCULATIONS

SITE AREA	2052.7sqm
TOTAL AREAS	
0-2 KIDS X 24:	84sqm (UNENCUMBERED)
2-3 KIDS X 35:	125sqm (UNENCUMBERED)
3-5 KIDS X 40:	132sqm (UNENCUMBERED)
TOTAL KIDS 99	341sqm (SUITABLE FOR 104 KIDS)
TOTAL CHILD CARE FLOOR AREA:	346sqm GROUND FLOOR 310sqm FIRST FLOOR 656sqm (FSR 0.32:1)
TOTAL OUTDOOR AREA:	700sqm(SUITABLE FOR 99 KIDS)
TOTAL PARKING SPACES:	25 CHILD CARE SPACES TOTAL (INCLUDING 1 ACCESSIBLE SPACE)

02.11.21	E	UPDATED ISSUE TO COUNCIL
DATE	REV	AMENDMENTS

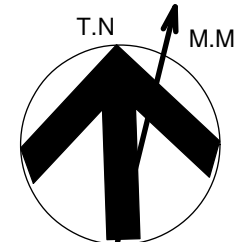
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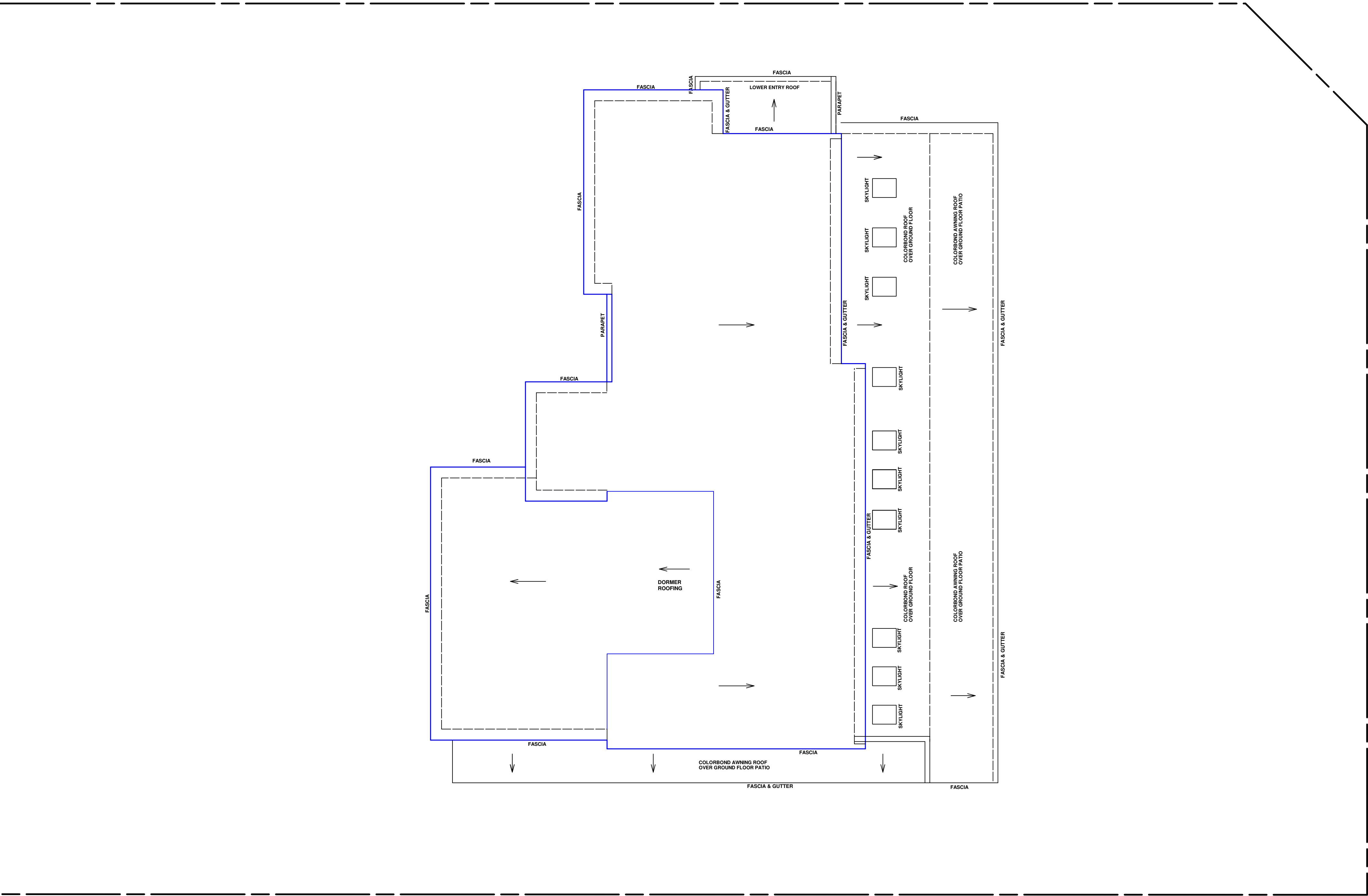
PROJECT: PROPOSED NEW CHILDCARE LOCATED AT 128-132 GLEDSWOOD HILLS DR GLEDSWOOD HILLS
TITLE: FIRST FLOOR PLAN
SCALE: 1:100 @ A1
DATE: MAY 2019
PROJECT No. 201912
DRAWN: MM
CHECKED: REV: E
DWG No. A1.02



GLEDSWOOD HILLS DRIVE

MAYFIELD

PLACE



ROOF PLAN
Scale: 1:100

02.11.21 D UPDATED ISSUE TO COUNCIL

DATE	REV	AMENDMENTS
02.11.21	B	UPDATED ISSUE TO COUNCIL
15.02.20	A	DA ISSUE

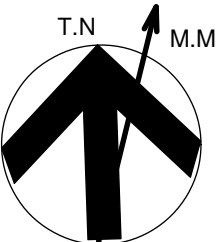
- DO NOT SCALE FROM DRAWING, USE WRITTEN DIMENSIONS ONLY
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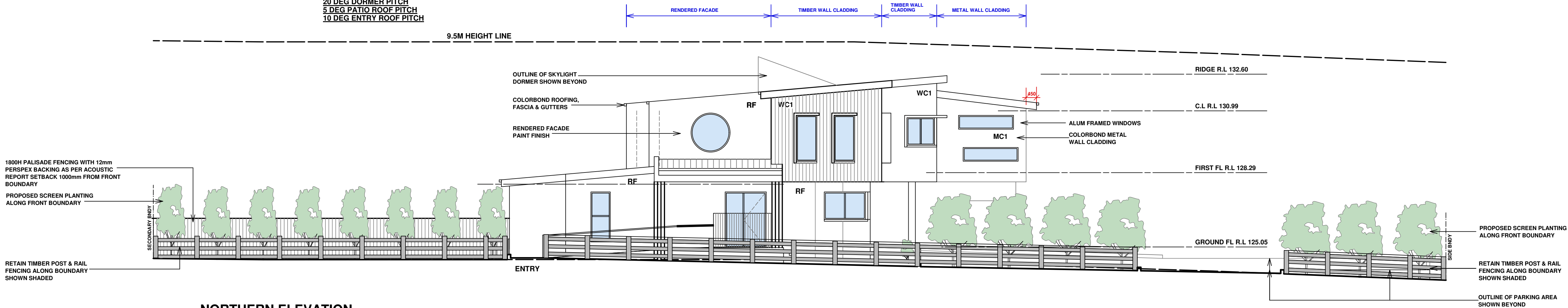
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PROJECT :	PROPOSED NEW CHILDCARE LOCATED AT 128-132 GLEDSWOOD HILLS DR GLEDSWOOD HILLS		
TITLE:	ROOF PLAN		
SCALE:	1:100 @ A1	DRAWN:	MM
DATE:	MAY 2019	CHECKED:	REV: B
PROJECT No.	201912	DWG No.	A1.03



5&7 DEG MAIN ROOF PITCH
20 DEG DORMER PITCH
5 DEG PATIO ROOF PITCH
10 DEG ENTRY ROOF PITCH

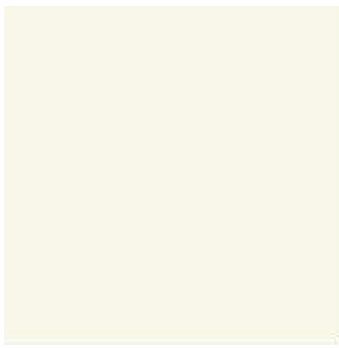


NORTHERN ELEVATION (PRIMARY FRONTAGE)

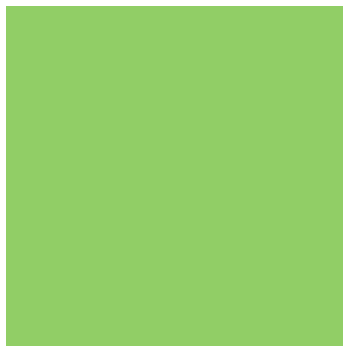
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COLORBOND SHALE GREY



DULUX WHITE WATSONIA



DULUX BRIGHT LETTUCE



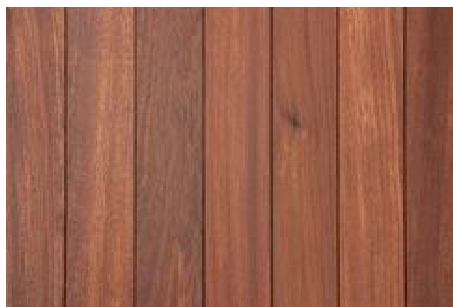
DULUX HIGH BLUE



DULUX RED CLOWN



DULUX HARVEST GOLD



SELECTED PRE FINISHED
TIMBER CLADDING

FINISHES LEGEND

MC1 - METAL WALL CLADDING COLORBOND SHALE GREY
WC1 - TIMBER CLADDING

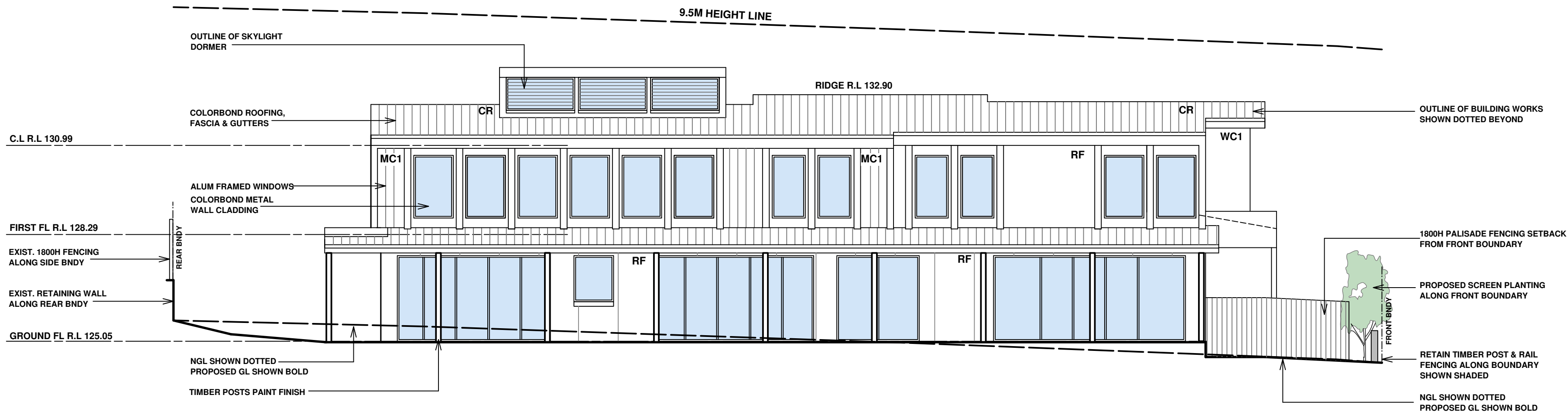
RF = DULUX WHITE WATSONIA
RF1 = DULUX RED CLOWN
RF2 = DULUX BRIGHT LETTUCE
RF3 = DULUX HARVEST GOLD
RF4 = DULUX HIGH BLUE

WINDOWS = COLORBOND MONUMENT

TIMBER POSTS= VARIOUS COLOURS

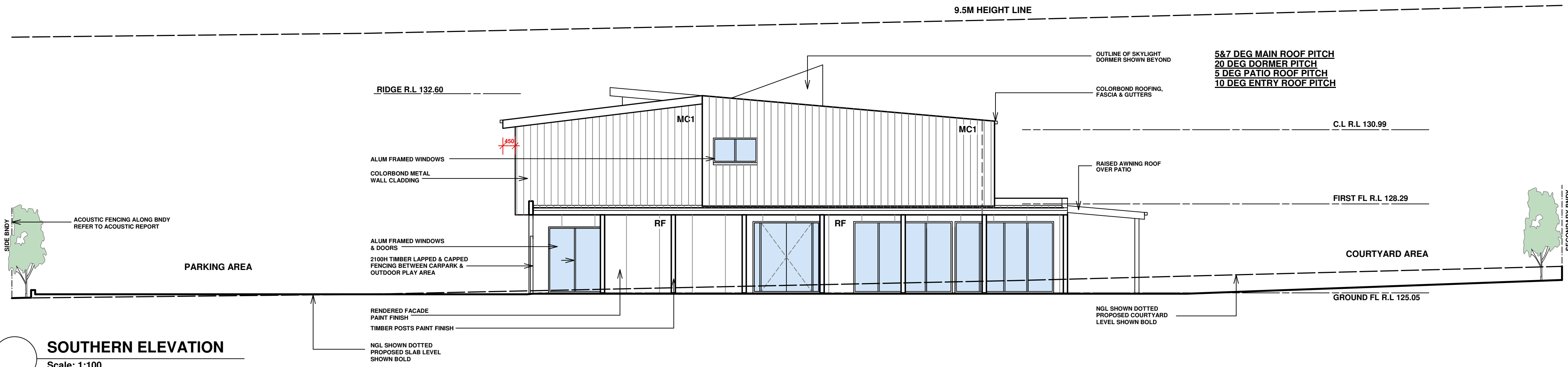
FASCIA/GUTTERS = COLORBOND MONUMENT

PALISADE FENCING = COLORBOND MONUMENT



EASTERN ELEVATION (SECONDARY FRONTAGE)

Scale: 1:100



SOUTHERN ELEVATION

Scale: 1:100

DATE	REV	AMENDMENTS
02.11.21	D	UPDATED ISSUE TO COUNCIL

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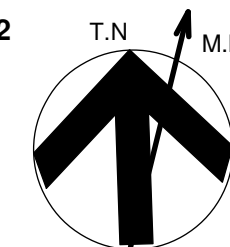
PROJECT: PROPOSED NEW CHILDCARE LOCATED AT 128-132
GLEDSDOOD HILLS DR GLEDSDOOD HILLS

TITLE: ELEVATIONS & COLOUR SCHEDULE 1

SCALE: 1:100 @ A1 DRAWN: MM

DATE: MAY 2019 CHECKED: REV: D

PROJECT No. 201912 DWG No. A1.04



MC1 - METAL WALL CLADDING COLORBOND SHALE GREY
WC1 -TIMBER CLADDING

WINDOWS = COLORBOND MONUMENT

FASCIA/GUTTERS = COLORBOND MONUMENT

PALISADE FENCING = COLORBOND MONUMENT



COLORBOND SHALE GREY

DULUX WHITE WATSONIA



DULUX RED CLOWN

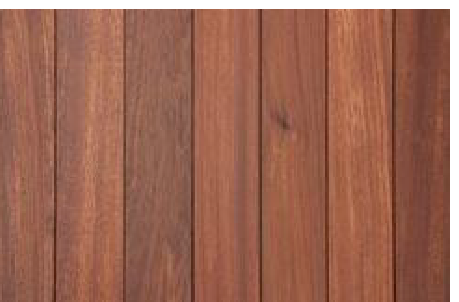


DULUX BRIGHT LETTUCE

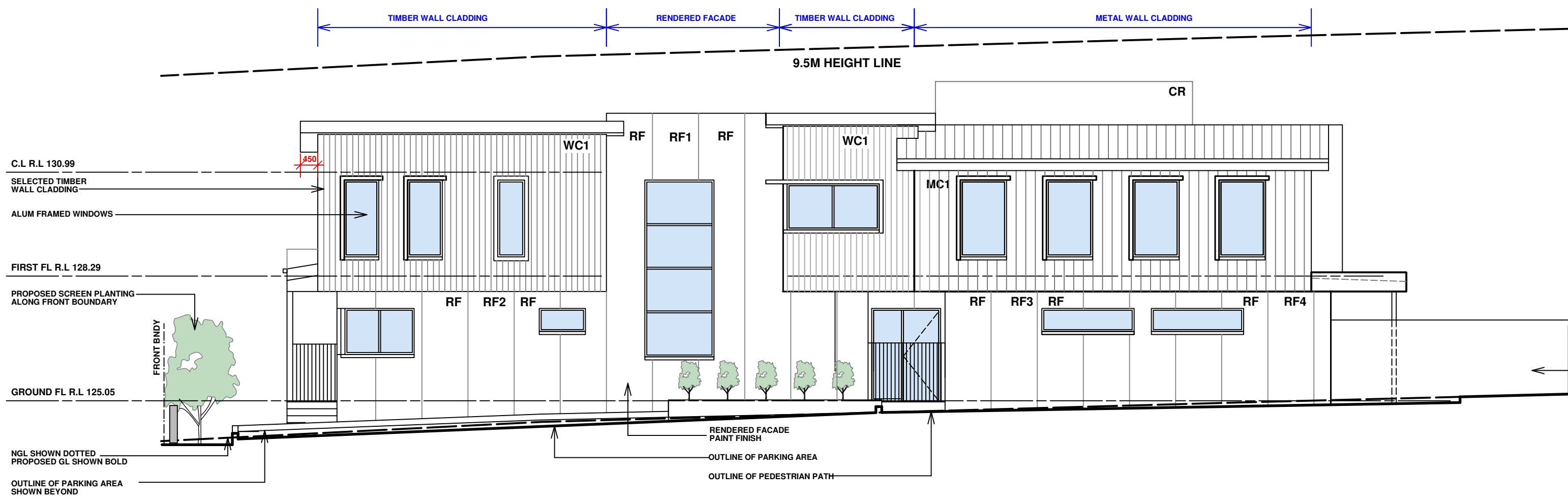
DULUX HARVEST GOLD



DULUX HIGH BLUE

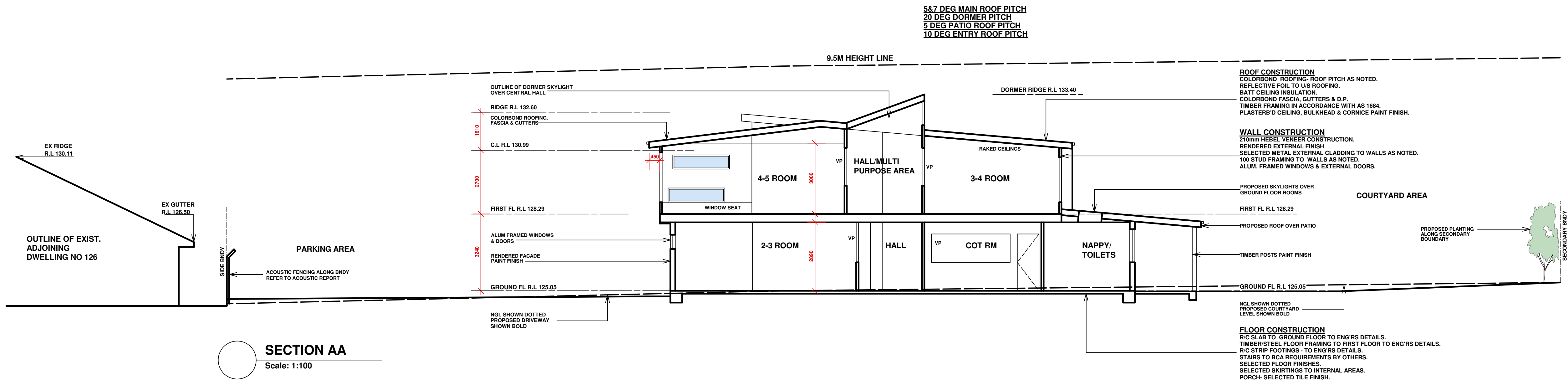


SELECTED PRE FINISHED TIMBER CLADDING



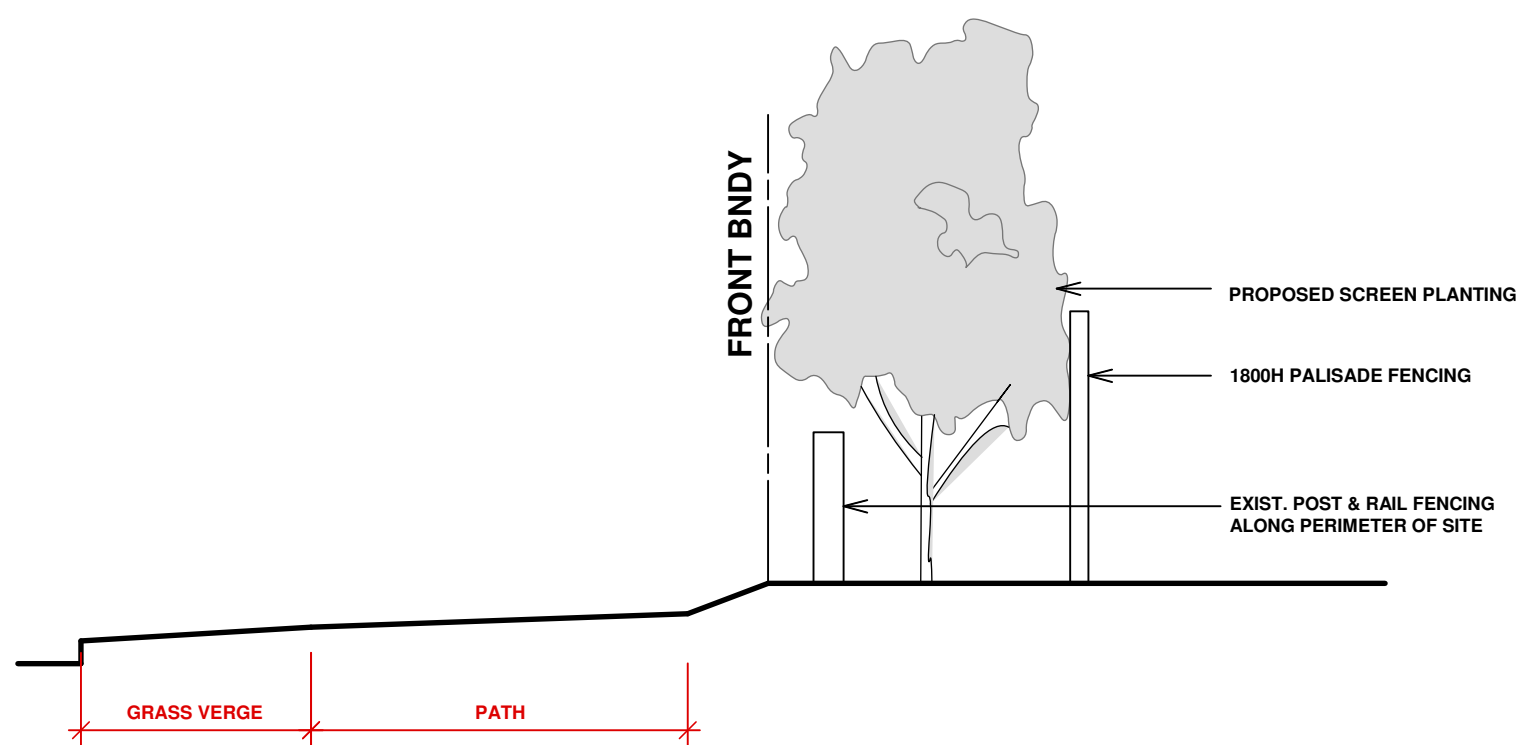
WESTERN ELEVATION

Scale: 1:100



SECTION AA

Scale: 1:100



SECTION BB

Scale: 1:50

02.11.21	E	UPDATED ISSUE TO COUNCIL
DATE	REV	AMENDMENTS

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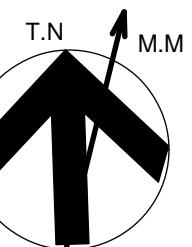
Shop 2, 15 Bransgrove St Wentworthville 2145,
PO Box 795 Kings Langley NSW 2147
Ph: 02 9687 0814 Mob: 0412 109 759
E-mail: mark@build-design.com.au

PROJECT: **PROPOSED NEW CHILDCARE LOCATED AT 128-132**

TITLE: **ELEVATIONS & COLOUR SCHEDULE 2**

SCALE : 1:100, 1:50 @ A1 DRAWN : MM

DATE: MAY 2019 CHECKED: REV: E



PLAYGROUND INCLUSIONS
PROPOSED CHILDCARE CENTRE

Lot 2073 Gledswood Hills Drive,
Gledswood Hills Nsw 2557



CONTOUR
LANDSCAPE ARCHITECTURE

PO Box 698 MONA VALE NSW 1660
Tel: 0434 500 705 - AIDLM

PROJECT
Proposed Childcare Centre
SITE
Lot 2073 Gledswood Hills Drive,
Gledswood Hills Nsw 2557

NOTES
comply with building code of australia and all relevant australian standards
all works shall be in accordance with development application and construction certificate conditions of consent
all levels to ahd
refer to survey information relating to existing site data
verify all dimensions prior to works
do not scale from drawings
use figured dimensions in preference to scaling
refer all discrepancies to landscape architect for determination
this drawing is copyright and must not be retained, copied, used or reproduced in any way without prior written permission of
contour landscape architects.

DATE	REV.	ISSUE
11/02/20	A	-----
02/11/20	B	-----

DATE: 02/11/2021

SCALE: N/A @ A3

DRAWN: SW

DRAWING
COVER SHEET

DRAWING NO:
C0_BDT

REV:
B

GLEDSDOOD HILLS DRIVE



note:
RETAIN TIMBER POST & RAIL
FENCING ALONG BOUNDARY

MAYFIELD
PLACE

PLAN ISSUE

11/02/20	A
12/02/20	B
17/02/20	C
02/11/21	D

- Legend**
- RL 125.00 PROPOSED LEVEL
 - PROPOSED MULCH AREA
 - PROPOSED PAVED AREA
 - PROPOSED TIMBER DECK
 - EXISTING CAR PARK
 - 1800mm HIGH PALISADE FENCE
 - PROPOSED NATURAL LAWN AREA
 - EXISTING METAL FENCE
 - PROPOSED SOFTFALL AREA
 - STEEL LAWN EDGE
 - PROPOSED SAND PIT AREA
 - BOUNDARY
 - INLET PIT REFER TO ENGINEERS DETAILS

ARCHITECT

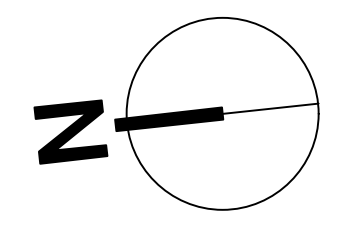
BDT BUILDING DESIGN & TECHNOLOGY Pty Ltd
APPLICATION PREPARED BY: MARK MANOUOL
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E-mail: mark@bdt-design.com.au

CONTOUR
LANDSCAPE ARCHITECTURE
PO Box 698 MONA VALE NSW 1660
Tel: 0434 500 705 - AIDLM

PROJECT
Proposed Childcare Centre
SITE
Lot 2073 Gledswood Hills Drive,
Gledswood Hills NSW 2557

NOTES
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do not scale from drawings
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DATE:	02/11/2021	DRAWING	LANDSCAPE PLAN
SCALE:	1:100 @ A1	DRAWING NO:	C1_BDT
DRAWN:	SW	REV:	D





NOTES

comply with building code of australia and all relevant australian standards
all works shall be in accordance with development application and construction certificate conditions of consent
all levels to add
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verify all dimensions prior to works
do not scale from drawings
use figured dimensions in preference to scaling
refer all discrepancies to landscape architect for determination
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OPTLINE SPECIFICATION

ALL LANDSCAPE WORKS SHALL BE EXECUTED BY A COMPETENT LANDSCAPE CONTRACTOR EXPERIENCED IN HORTICULTURAL PRACTICE AND LANDSCAPE CONSTRUCTION. THE CONTRACTOR SHALL HOLD A CURRENT NSW STRUCTURAL LANDSCAPE LICENSE OR BE A MEMBER OF THE NSW LANDSCAPE CONTRACTORS ASSOCIATION. IRRIGATION WORKS SHALL BE EXECUTED BY A CONTRACTOR SUITABLY QUALIFIED AND LICENSED BY THE NSW DEPARTMENT OF FAIR TRADING FOR URBAN IRRIGATION.

THESE GENERAL LANDSCAPE SPECIFICATIONS SHALL BE READ IN CONJUNCTION WITH DETAILED SPECIFICATIONS PREPARED BY CONTOUR LANDSCAPE ARCHITECTURE, STRUCTURAL ENGINEERING PLANS, STORMWATER ENGINEER PLANS, ARBORICULTURAL IMPACT ASSESSMENT REPORT, D.A. CONSENT CONDITIONS.

LANDSCAPE HARDWORKS DEMOLITION, BULK EARTHWORKS, RETAINING WALLS, STONE FACING, PLANTER BOXES, PAVING, DRAINAGE, WATERPROOFING, FENCING AND ALL SITE CONSTRUCTION INDICATED SHALL BE EXECUTED IN ACCORDANCE WITH LANDSCAPE ARCHITECTURAL, ARCHITECTURAL + ENGINEERING SPECIFICATIONS LANDSCAPE WORKS SHALL GENERALLY BE UNDERTAKEN IN ACCORDANCE WITH DA APPROVED PLANS AND CONSTRUCTION CERTIFICATE PLANS AND DETAILS AND SHALL BE COMPLIANT WITH:

- AS4970-2009 Protection of trees on development sites
- AS 4970-2009/Amdt 1-2010 Protection of trees on development sites
- AS4373-2007 Pruning of amenity trees
- AS4419-2003 Soils for landscaping and garden use
- AS4454-2012 Composts, soil conditioners and mulches
- AS3743-2003 Potting mixes
- AS/NZ3500:2015 Plumbing and drainage Set

SERVICES
BEFORE LANDSCAPE WORK IS COMMENCED THE LANDSCAPE CONTRACTOR IS TO ESTABLISH THE POSITION OF ALL SERVICES LINES AND ENSURE TREE PLANTING IS CARRIED OUT AT AT LEAST 3 METRES AWAY FROM THESE SERVICES. SERVICES LIDS, VENTS AND HYDRANTS SHALL BE LEFT EXPOSED AND NOTE COVERED BY ANY LANDSCAPE FINISHES (TURNING, PAVING, GARDEN BEDS ETC.) FINISH ADJOINING SURFACES FLUSH WITH PIT LIDS.

MANAGEMENT OF TREE PROTECTION
A QUALIFIED AND APPROVED ARBORIST IS TO BE CONTRACTED TO UNDERTAKE OR MANAGE THE INSTALLATION OF PROTECTIVE FENCING, AND TO UNDERTAKE SUCH MEASURES AS THEY DEEM APPROPRIATE TO PRESERVE THE SUBJECT TREES TO BE RETAINED. THE ARBORIST IS TO BE RETAINED FOR THE ENTIRE CONTRACT PERIOD TO UNDERTAKE ONGOING MANAGEMENT AND REVIEW OF THE TREES.

CARE SHALL BE TAKEN DURING THE ENTIRE PERIOD OF WORKS TO ENSURE NO DAMAGE TO ROOTS OR CANOPIES OF TREES TO BE RETAINED. NO STORING OF BUILDING MATERIALS, WASHING OF EQUIPMENT, DISPOSAL OF CHEMICALS, ETC. SHALL BE PERMITTED BENEATH CANOPY OF TREES TO BE RETAINED.. NO EXCAVATION OR TRENCHING SHOULD OCCUR BENEATH CANOPIES EXCEPT FOR COUNCIL-APPROVED WORKS. ALL EXCAVATION BENEATH TREE CANOPIES SHALL BE UNDERTAKEN TO COUNCIL / PROJECT ARBORIST INSTRUCTIONS. PROJECT ARBORIST SHALL BE ADVISED AND ATTEND SITE IF TREE ROOTS GREATER THAN 50MM DIAMETER ARE ENCOUNTERED.
PREPARATION BY BUILDER
BUILDER SHALL REMOVE ALL EXISTING CONCRETE PATHWAYS, FENCES, FOOTINGS, WALLS, ETC. NOT NOTATED TO BE RETAINED AND COMPLETE ALL NECESSARY EXCAVATION WORK PRIOR TO COMMENCEMENT ON SITE BY LANDSCAPE CONTRACTOR. BUILDER SHALL ALSO INSTALL NEW RETAINING WALLS, KERBS, LAYBACK KERB, CROSSEVER, PATHWAYS, ETC. AND MAKE GOOD ALL EXISTING KERBS, GUTTERS, ETC. AS NECESSARY AND TO APPROVAL OF COUNCIL. BUILDER SHALL ENSURE THAT A MINIMUM 450MM OF TOPSOIL IN GARDEN AREA AND A MINIMUM 150MM OF TOPSOIL IN LAWN AREAS EXISTS. SHOULD REQUIRED DEPTHS NOT EXIST BUILDER SHALL CONTACT LANDSCAPE ARCHITECT AND ASK FOR INSTRUCTIONS PRIOR TO COMPLETION OF EXCAVATION WORKS.

ALL LEVELS AND SURFACE DRAINAGE SHALL BE DETERMINED BY OTHERS AND APPROVED ON SITE BY LANDSCAPE CONTRACTOR.

SOIL PREPARATION + PLANTING SOILS
CULTIVATE TO A DEPTH OF 300MM ALL PROPOSED LAWN AND GARDEN AREAS. DO NOT CULTIVATE BENEATH EXISTING TREES TO BE RETAINED. IN AREAS WHERE FILL IS REQUIRED GAIN REQUIRED SHAPES AND LEVELS USING A PREMIUM GRADE SOIL MIX. IN AREAS WHERE EXCAVATION IS REQUIRED (IF IN CLAY) OVER EXCAVATE AS REQUIRED TO ALLOW FOR INSTALLATION OF 500MM DEPTH OF PREMIUM GRADE TOPSOIL MIX TO GARDEN AREAS AND 300M DEPTH OF PREMIUM GRADE TOPSOIL MIX TO LAWN AREAS.

- SUBGRADE PREPARATION**
BEFORE LAYING TOPSOIL, THE FOLLOWING SUBGRADE TREATMENT MUST BE APPLIED TO ALL FINISHED SUBGRADE AREAS:
1. FAIR + TRIM TO RELATIVE LEVEL TO ACCOMMODATE REQUIRE OVERALL SOIL DEPTH
 - 2.REMOVE ROCK >100mm DIAMETER
 3. REMOVE RUBBISH SUCH AS CONSTRUCTION GENERATED WASTER, PLASTICS, METALS, GLASS
 4. APPLY GYPSUM AND LIME AT MANUFACTURER'S RECOMMENDED RATES
 5. LOOSEN SUBGRADE TO 200mm DEPTH LEAVING SURFACE 'KEYED' TO ACCEPT TOPSOIL

CONTRACTOR SHALL UNDERTAKE PH TESTS AND ADJUST WHERE NECESSARY TO ACHIEVE A PH WITHIN THE 5.5 - 7.5 RANGE. MIX IN GYPSUM AT MANUFACTURER'S RECOMMENDED RATES IF CLAY SOIL ENCOUNTERED.

UNDERTAKE ALL REQUIRED ACTION TO ENSURE THAT NO ROOTBALLS OF PROPOSED PLANTS SIT IN CLAY WELLS AND THAT ALL GARDEN AREAS AND LAWN AREAS DRAIN SATISFACTORILY. NOTE IT IS INTENDED THAT WHEREVER POSSIBLE EXISTING LEVELS SHALL NOT BE ALTERED THROUGH GARDEN AND LAWN AREAS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE END RESULT OF THE PROJECT IS THAT ALL LAWN AND GARDEN AREAS DRAIN SUFFICIENTLY (BOTH SURFACE AND SUBSTRATE), ARE AT REQUIRED FINISH LEVELS AND HAVE SUFFICIENT SOIL DEPTHS TO ENABLE LAWN AND PLANTS TO THRIVE AND GROW. SHOULD ALTERNATIVE WORKS TO THOSE SPECIFIED REQUIRED TO ACHIEVE THAT RESULT, CONTRACTOR SHALL INFORM BUILDER AT TIME OF TENDER AND REQUEST INSTRUCTIONS.

PLANTING
ALL PLANTS SHALL BE WELL GROWN AND DISEASE FREE. PLANTING SHALL BE IN ACCORDANCE WITH PLANTING SCHEDULE. TREES SHALL BE GROWN TO NATSPEC. GENERAL PLANT MATERIAL (EXOTICS AND ENDEMIC) SUPPLY PLANTS IN ACCORDANCE WITH PLANTING SCHEDULE. NO SUBSTITUTIONS ARE PERMITTED WITHOUT THE CONSENT OF THE SUPERVISING LANDSCAPE ARCHITECT. PLANT MATERIAL SHALL BE GROWN TO NATSPEC AND SHALL BE VIGOROUS, WELL ESTABLISHED, FREE OF DISEASE AND PESTS, HARDENED OFF, TRUE TO FORM, AND GROWN IN THEIR FINAL CONTAINERS FOR NOT LESS THAN 12 WEEKS. TREES SHALL HAVE A SINGLE LEADING SHOOT AND POTS FREE FROM WEEDS.

IMMEDIATELY REJECT DRIED OUT, DAMAGED OR UNHEALTHY PLANT MATERIAL BEFORE PLANTING.

PLANT HOLES SHALL BE DUG APPROXIMATELY TWICE THE WIDTH AND TO 100MM DEEPER THAN PLANT ROOTBALLS THAT THEY ARE TO RECEIVE. BASE AND SIDES OF HOLE SHALL BE FURTHER LOOSENED. FERTILISER, FOLLOWED BY 100MM DEPTH OF TOPSOIL MIX SHALL THEN BE PLACED INTO BASE OF HOLE AND LIGHTLY CONSOLIDATED. BASE OF HOLE SHALL THEN BE WATERED. REMOVE PLANT CONTAINER AND INSTALL PLANT INTO HOLE. ROOTBALL SHALL BE BACKFILLED WITH SURROUNDING TOPSOIL AND TOPSOIL FIRMED INTO PLACE. AN APPROVED SHALLOW DISH SHALL BE FORCED TO CONTAIN WATER AROUND BASE OF STEM. BASE OF STEM OF PLANT SHALL FINISH FLUSH WITH FINISHED SOIL LEVEL. ONCE INSTALLED PLANT SHALL BE THOROUGHLY WATERED AND MAINTAINED FOR THE DURATION OF THE CONTRACT.

STAKES + TIES
THE LANDSCAPE CONTRACTOR SHALL REPLACE OR ADJUST PLANT STAKES, AND TREE GUARDS AS NECESSARY OR AS DIRECTED BY THE LANDSCAPE ARCHITECT.

STAKES SHALL BE STRAIGHT HARDWOOD, FREE FROM KNOTS AND TWISTS, POINTED AT ONE END AND SIZED ACCORDING TO THE SIZE OF PLANTS TO BE STAKED:

1. 5-15 LITRE SIZE PLANT 1X 1200 X 25 X 25MM
2. 35-75 LITRE SIZE PLANT 2X 1500 X 38 X 38MM
3. 100+ LITRE SIZE PLANT 3X 1800 X 50 X 50MM

TIES SHALL BE 50MM WIDE HESSIAN WEBBING OR APPROVED EQUIVALENT NAILED OR STAPLED TO STAKE. DRIVE STAKES A MINIMUM ONE THIRD OF THEIR LENGTH, AVOIDING DAMAGE TO THE ROOT SYSTEM, ON THE WINDWARD SIDE OF THE PLANT.

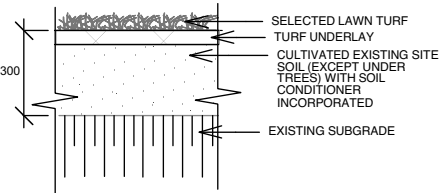
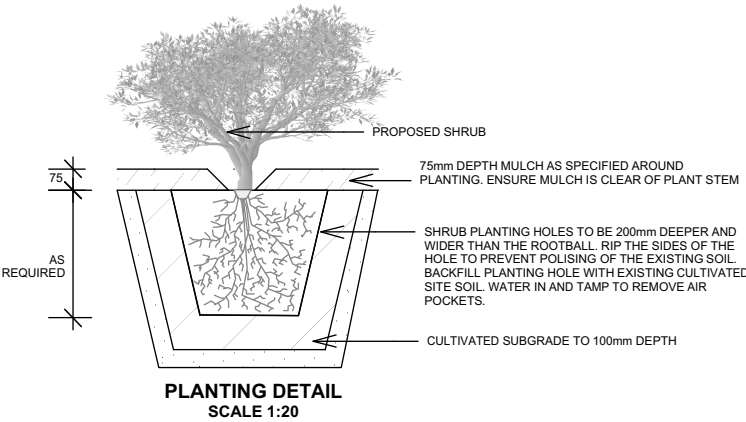
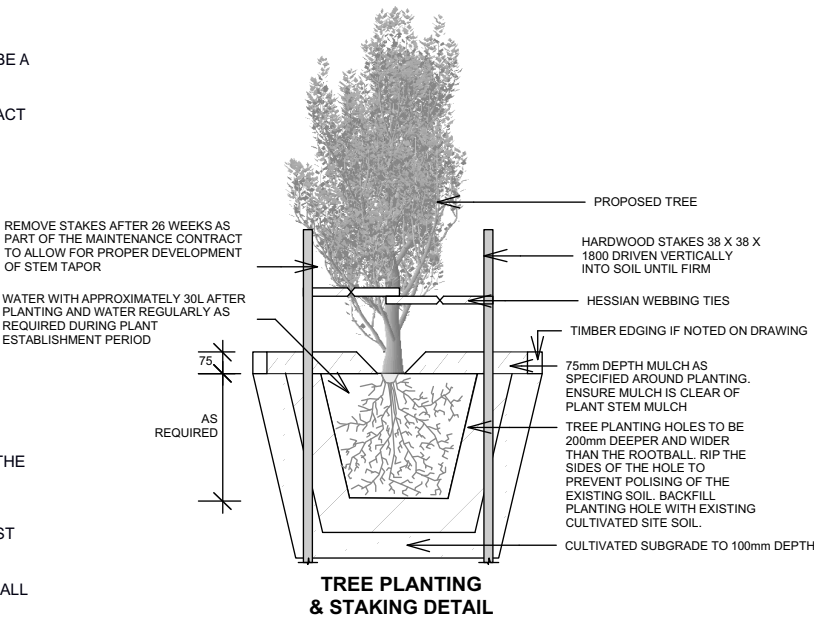
FERTILIZER
AT PLANTING SPREAD SLOW RELEASE FERTILIZER AROUND DRIP LINE OF ALL PLANTS AT MANUFACTURER'S RECOMMENDED RATES
GENERAL APPLICATION:
EQUAL TO OSMOCOTE PLUS TRACE ELEMENTS - ALL PURPOSE NPK 19.4 : 1.6 : 6
NATIVE PLANTS: EQUAL TO OSMOCOTE PLUS TRACE ELEMENTS - NATIVE GARDENS NPK 17.9 : 0.8 : 7.3

MULCH
ENSURE ALL MULCH IS FREE OF WEED SEED AND VEGETATIVE MATERIAL. PROVIDE SAMPLE OF MULCH FOR CLIENT APPROVAL PRIOR TO DELIVERY.

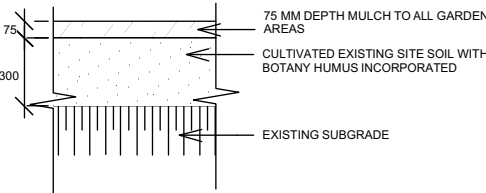
PLACE MULCH TO REQUIRED DEPTH, (REFER TO DRAWINGS) CLEAR OF PLANT STEMS, AND RAKE TO AN EVEN SURFACE FINISHING 25MM BELOW ADJOINING LEVELS. ENSURE MULCH IS WATERED IN AND TAMPED DOWN DURING INSTALLATION.

EDGING
EDGING SHALL BE INSTALLED AT THE JUNCTION OF LAWN AND GARDEN AREAS AS INDICATED ON DRAWINGS. EDGE SHALL BE FINISHED LEVEL WITH LAWN OR ADJOINING GRAVEL. EDGE SHALL TYPICALLY BE 100MM HIGH WITH ALUMINIUM FINISH. INSTALL TO MANUFACTURER'S SPECIFICATIONS

FENCING
RETAIN ALL EXISTING FENCING UNLESS ADVISED OTHERWISE BY BUILDER.



TYPICAL TURF DETAIL
SCALE 1:20



SOIL TO GARDEN AREAS
SCALE 1:20

CONTOUR
LANDSCAPE ARCHITECTURE

PO Box 698 MONA VALE NSW 1660
Tel: 0434 500 705 - AIDLM

PROJECT

Proposed Childcare Centre
SITE
Lot 2073 Gledswood Hills Drive,
Gledswood Hills Nsw 2557

NOTES

comply with building code of australia and all relevant australian standards
all works shall be in accordance with development application and construction certificate conditions of consent
all levels to ahd
refer to survey information relating to existing site data
verify all dimensions prior to works
do not scale from drawings
use figured dimensions in preference to scaling
refer all discrepancies to landscape architect for determination
this drawing is copyright and must not be retained, copied, used or reproduced in any way without prior written permission of
contour landscape architects.

DATE 03/02/20 REV. A ISSUE

DATE: 11/02/2020

SCALE: N/A @ A3

DRAWN: SW

DRAWING
LANDSCAPE DETAILS &
SPECIFICATION

DRAWING NO:
C3_BDT

REV:
A

PROPOSED NEW CHILD CARE CENTRE LOCATED AT 2073 GLEDSWOOD HILLS DRIVE, GLEDSWOOD HILLS NSW 2765

CONCEPT STORMWATER DESIGN PLANS

LEGEND	
	STORMWATER LINE
	SUBSOIL LINE
	STORMWATER RISING MAIN
	EXISTING STORMWATER LINE
	AUTHORITY STORMWATER LINE
	AUTHORITY SEWER LINE
	AUTHORITY WATER LINE
	AUTHORITY GAS LINE
	AUTHORITY ELECTRICITY LINE
	AUTHORITY UNDERGROUND ELECTRICITY LINE
	AUTHORITY FIBRE OPTIC LINE
	AUTHORITY COMMS LINE
	FENCE LINE
	GRATED SURFACE INLET PIT
	GRATED SURFACE INLET PIT WITH ENVIROPOD INSERT
	JUNCTION PIT
	KERB INLET PIT
	EXISTING GRATED SURFACE INLET PIT
	GRATED TRENCH DRAIN
	EXISTING JUNCTION PIT
	EXISTING KERB INLET PIT
	EXISTING TELSTRA PIT
	EXISTING HYDRANT
	EXISTING STOP VALVE
	EXISTING GAS VALVE
	EXISTING POWER POLE
	EXISTING BOUNDARY TRAP

SERVICES SHOWN ON PLAN ARE INDICATIVE, EXACT DEPTH AND LOCATION TO BE CONFIRMED ONSITE. CONTRACTOR TO CARRY OUT DIAL BEFORE YOU DIG APPLICATION AND ENGAGE A REGISTERED SURVEYOR TO PEG OUT ALL EXISTING SERVICES PRIOR TO ANY WORK COMMENCING ONSITE.

LEGEND	
	EXISTING SEWER MANHOLE
	OVERLAND FLOW PATH
	RAINWATER OUTLET
	CLEAR OUT POINT
	DISH DRAIN OUTLET
	PLANTER DRAIN
	CAPPING
	PIT TAG/NUMBER
	RAINHEAD
	DOWNPIPE DROP
	NON RETURN VALVE
	WALL PENETRATION
	DOWNPIPE
	DOWNPIPE + SPREADER
	WARNING LIGHT
	SPOT LEVELS
	BENCHMARK

ABBREVIATIONS:

Ø or DIA	DIAMETER
CBR	CALIFORNIA BEARING RATIO
CH	CHAINAGE
CL	CENTER LINE
CO	CLEAR OUT
DD	DISH DRAIN
DDO	DISH DRAIN OUTLET
DEJ	DOWELLED EXPANSION JOINT
DGB	DENSE GRADED BASECOURSE
DGS	DENSE GRADED SUB-BASE
DP	DOWNPIPE
e	EXISTING
FFL	FINISHED FLOOR LEVEL
GTD	GRATED TRENCH DRAIN
GSIP	GRATED SURFACE INLET PIT
HYD	HYDRANT
IJ	ISOLATING JOINT
IK	INTEGRAL KERB
IL	INVERT LEVEL
IP	INTERSECTION POINT
KIP	KERB INLET PIT
KO	KERB ONLY
K&G	KERB & GUTTER
KR	KERB RETURN
LS	LONGITUDINAL SECTION
NGL	NATURAL GROUND LEVEL
OFP	OVERLAND FLOW PATH
OSD	ON-SITE DETENTION
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RK	ROLL KERB & GUTTER
RL	REDUCED LEVEL
RW	RETAINING WALL
RWT	RAINWATER TANK
SJ	SAWN CONTROL JOINT
SMH	SEWER MAN HOLE
SW	STORMWATER
SWP	STORMWATER PIT
SWRM	STORMWATER RISING MAIN
SWS	STORMWATER SUMP
SV	STOP VALVE
TOK	TOP OF KERB
TOW	TOP OF WALL
TWL	TOP WATER LEVEL
TP	TANGENT POINT
UPVC	UNPLASTICISED POLYVINYL CHLORIDE
UNO	UNLESS NOTED OTHERWISE
WPJ	WEAKENED PLANE JOINT
FF	FIRST FLUSH DEVICE
TYP	TYPICAL

DRAINAGE NOTES:

ALL PIPES TO BE LAID ON 75mm SAND BED WITH THE BARRELS FULLY SUPPORTED

100mm AND 150mm DIAMETER PIPES TO BE LAID ON MINIMUM 1% GRADE

MINIMUM DEPTH OF COVER FOR PIPES NOT SUBJECT TO VEHICULAR LOADING TO BE 300mm

ALL DRAINAGE PIPES LAID UNDER PAVEMENT SHALL BE REINFORCED CONCRETE WITH RUBBER RING JOINTS

BACKFILL TRENCHES WITH COMPACTED SAND OR APPROVED AGGREGATE MATERIAL

ALL PITS TO HAVE 600x600mm INTERNAL DIMENSIONS (U.N.O.)

SILT ARRESTORS TO HAVE 900x900mm INTERNAL DIMENSIONS

HEAVY DUTY GRATES AND COVERS ARE TO BE PROVIDED IN TRAFFICABLE AREAS

PIT GRATE TO BE TYPE WELDLOK OR APPROVED EQUIVALENT

ALL PITS SHALL BE PROVIDED WITH A LOCKING CLIP

ALL PITS SHALL BE MAINTAINED REGULARLY

TOP OF BENCHING SHALL BE TO THE HALF OF THE OUTLET PIPE DIAMETER

MAXIMUM FRONT ENTRY PIPE:-

STRAIGHT ENTRY - Ø750

SKREW ENTRY 45° - Ø525

Ø100 SUBSOIL DRAINAGE PIPE 3000mm LONG WRAPPED IN FABRIC SOCK TO BE PROVIDED ADJACENT TO INLET PIPES

COMPRESSIVE STRENGTH f_c FOR CAST IN SITU CONCRETE TO BE A MINIMUM OF 20MPa AT 28 DAYS

PROVIDE CLEANING EYES TO ALL DOWNPIPES NOT DIRECTLY CONNECTED TO PITS

ISOLATED JOINTS TO BE PROVIDED TO ISOLATE CONCRETE PAVEMENTS FROM PITS

ALL TRENCH GRATES PROVIDED SHALL HAVE A MINIMUM CLEAR WIDTH OF 200mm

STORMWATER DRAINAGE CONNECTIONS TO THE MAIN SYSTEM SHALL BE TO THE REQUIREMENTS AND THE SATISFACTION OF LOCAL COUNCIL

STORMWATER PIPE BEDDING/PAVING NOTES:

WHERE TRENCH BASE IS ROCK A MINIMUM OF 75mm BEDDING TO BE PROVIDED UNDER PIPE COLLARS.

STORMWATER PIPE BEDDING DETAIL TO BE IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS. BEDDING DETAILS TO BE CONFIRMED UPON EXCAVATION & PRIOR TO INSTALLATION OF PIPEWORK.

FOOTPATH REINSTATEMENT NOTES:

REMOVE ALL SAND FILL WITHIN THE FOOTPATH AREA TO THE EXISTING SUBGRADE.

SUPPORT ALL AUTHORITY SERVICES TO STRUCTURAL ENGINEERS DETAILS DURING EXCAVATION.

REINSTATE FOOTPATH SUBGRADE.

THE CONTRACTOR SHALL PROVIDE CERTIFICATION OF COMPACTION FROM A NATA REGISTERED TESTING AUTHORITY. MINIMUM THREE TESTS PER LAYER AS FOLLOWS:
SELECT FILL 95% MODIFIED
SELECT FILL (LESS THAN 300mm BELOW BASE COURSE) 98% MODIFIED
BASE COURSE 100% MODIFIED

EROSION & SEDIMENT CONTROL NOTES:

PROVIDE SILT FENCE/HAY BAIL BARRIERS TO THE LOW SIDE OF ALL EXPOSED EARTH EXCAVATIONS (TYPICAL).

ISOLATE EXISTING STORMWATER PITS WITH HAY BALES TO FILTER ALL INCOMING FLOWS.

DO NOT STOCK PILE EXCAVATED MATERIAL ON THE ROAD WAY.

SURVEY

THE EXISTING SITE CONDITIONS SHOWN ON THE FOLLOWING DRAWINGS HAVE BEEN INVESTIGATED BY ATS LAND & ENGINEERING SURVEYORS P/L (REFERENCE 10869), BEING REGISTERED SURVEYORS. THE INFORMATION IS SHOWN TO PROVIDE A BASIS FOR DESIGN. GEBA CONSULTING DOES NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE SURVEY BASE OR ITS SUITABILITY AS A BASIS FOR CONSTRUCTION.

SHOULD DISCREPANCIES BE ENCOUNTERED DURING CONSTRUCTION BETWEEN THE SURVEY DATA AND ACTUAL FIELD DATA, CONTACT GEBA CONSULTING.

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DRAWING REGISTER

NUMBER	NAME	REVISION
SW-01	COVER SHEET & SPECIFICATIONS	F
SW-02	EROSION & SEDIMENT CONTROL PLAN	F
SW-03	GROUND FLOOR PLAN	F
SW-04	ROOF PLAN	F
SW-05	DETAILS SHEET	F



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MIEAust 4650502

Signature

Client
-
Architect
BUILDING DESIGN & TECHNOLOGY P/L
Project
PROPOSED CHILD CARE CENTRE
Address
2073 GLEDSWOOD HILLS DR, GLEDSWOOD HILLS

Scale

0m 1 2 3 4 5
SCALE 1:100 ON ORIGINAL SIZE

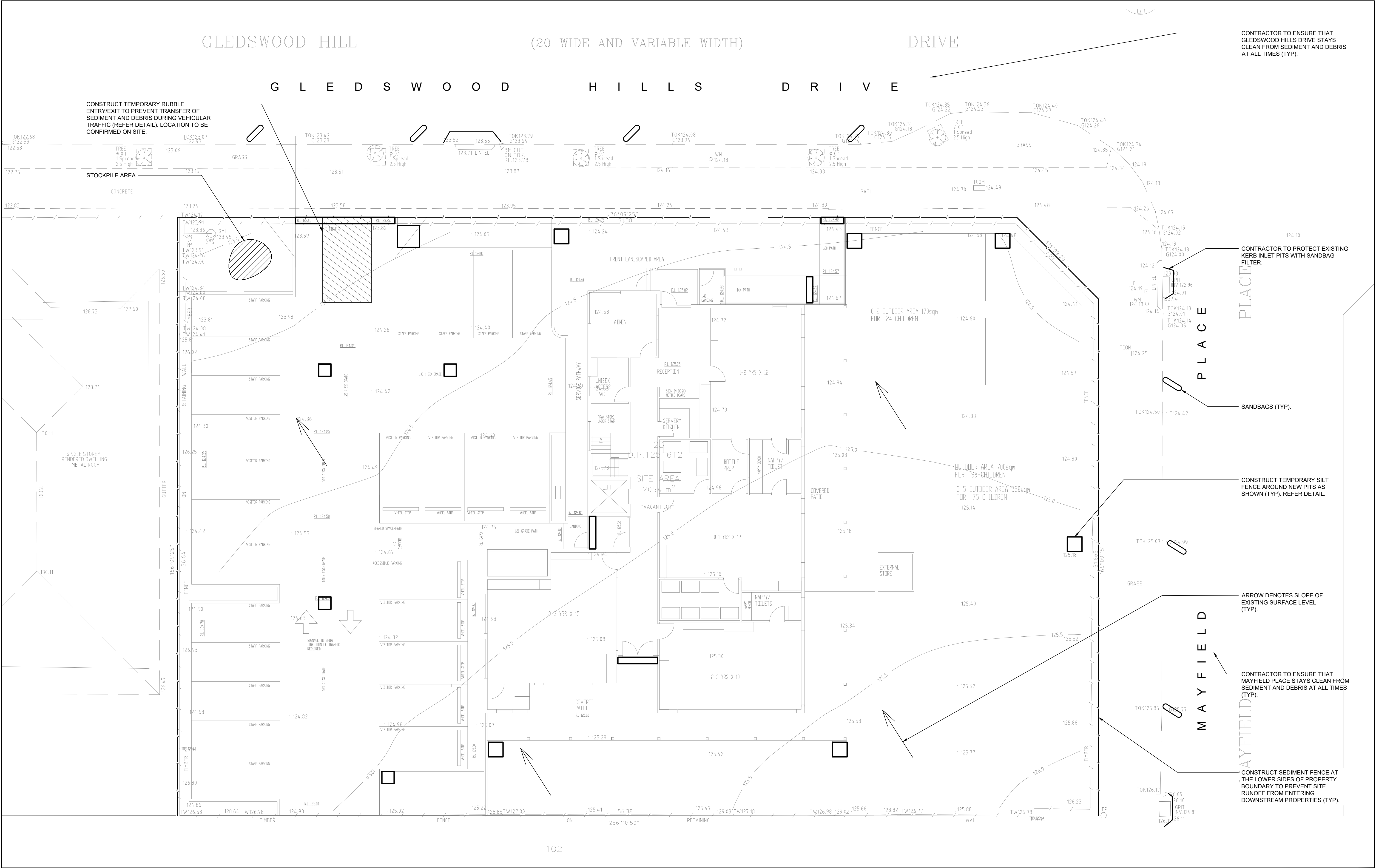
Northpoint

Description	Des.	Chk.	App.	Rev.	Date
FOR DA SUBMISSION TO COUNCIL	G.E.	G.E.	G.E.	A	17.02.20
FOR DA SUBMISSION TO COUNCIL	G.E.	G.E.	G.E.	B	18.02.20
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AMENDED TO SUIT COUNCIL COMMENTS	G.E.	G.E.	G.E.	E	23.09.20
FOR APPROVAL	G.E.	G.E.	G.E.	F	01.11.21

DEVELOPMENT APPLICATION (DA)

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COVER SHEET & SPECIFICATIONS			
Project number	Drawing number	Original Size	Scale
GC20022	SW01	A1	1:100

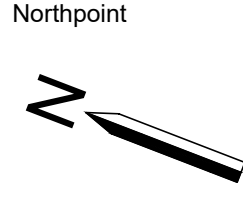


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Project
PROPOSED CHILD CARE CENTRE
Address
2073 GLEDSDOOD HILLS DR, GLEDSDOOD HILLS

Scale
0m 1 2 3 4 5
SCALE 1:100 ON ORIGINAL SIZE



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EROSION & SEDIMENT CONTROL PLAN			
Project number	Drawing number	Original Size	Scale
GC20022	SW02	A1	1:100

GLEDSDOOD HILL

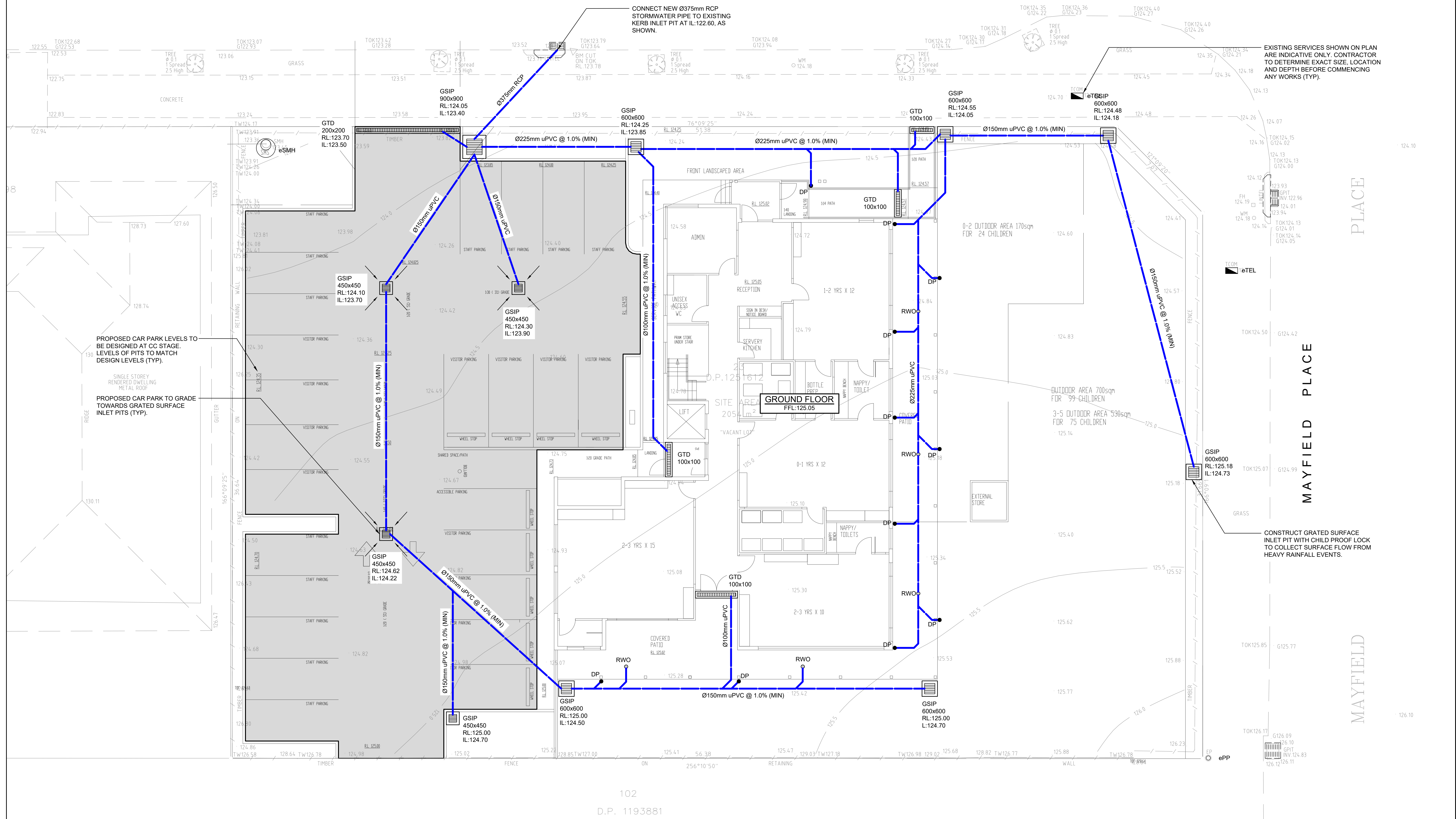
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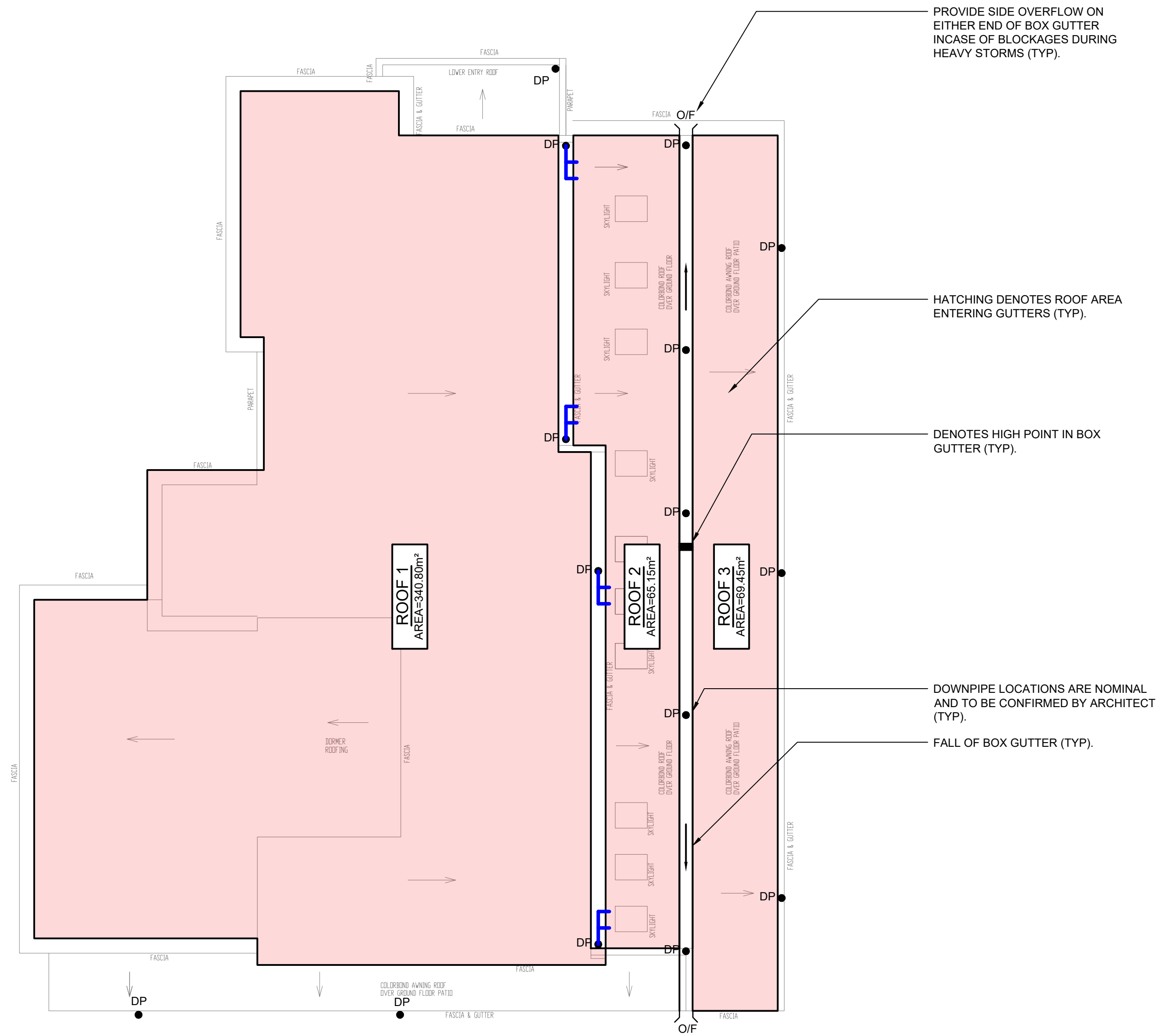
DRIVE



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GLEDSDOOD HILLS DRIVE





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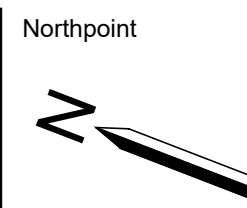
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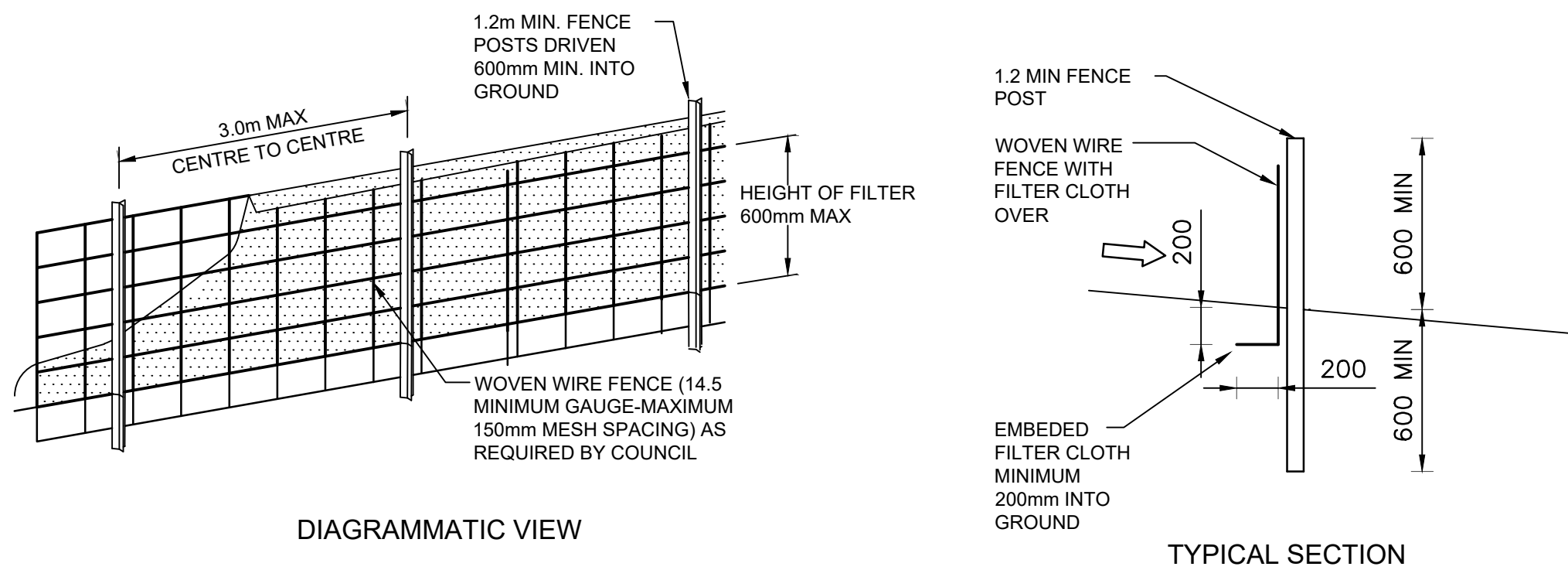
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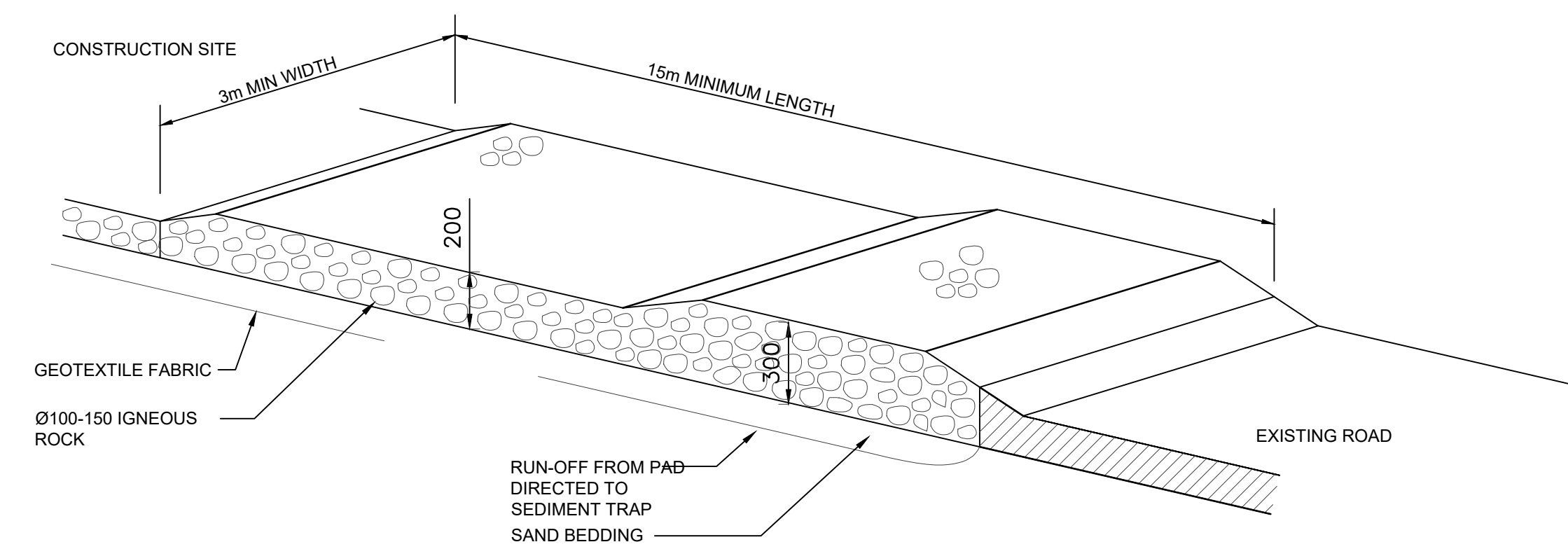
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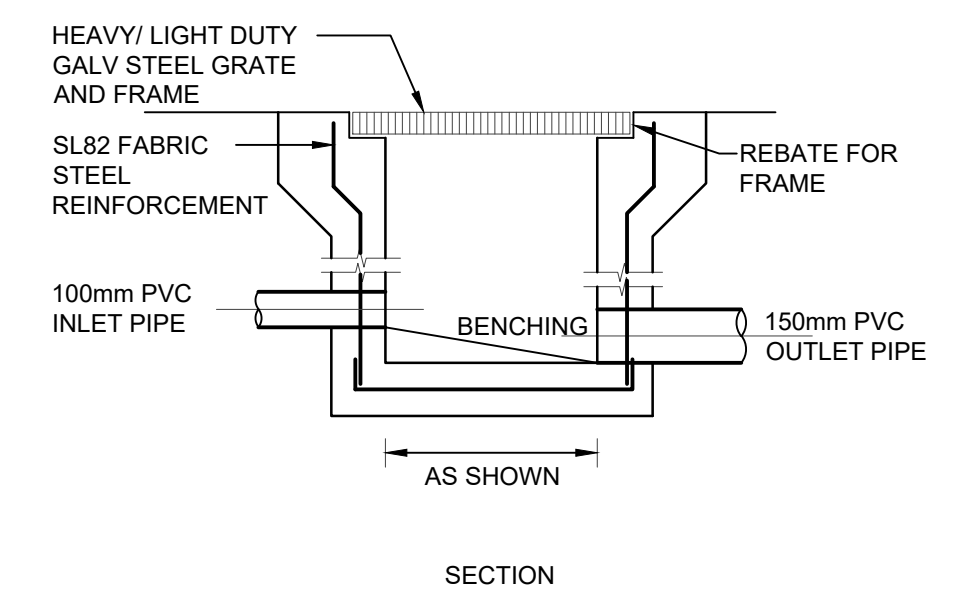
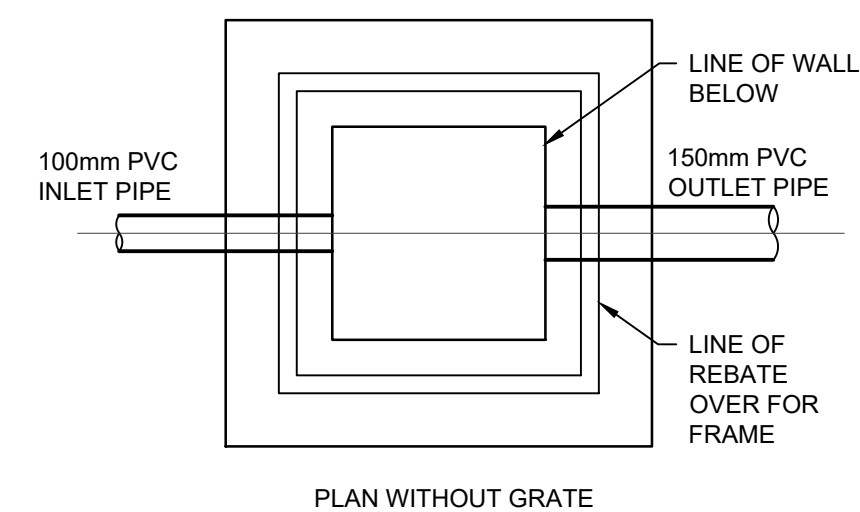
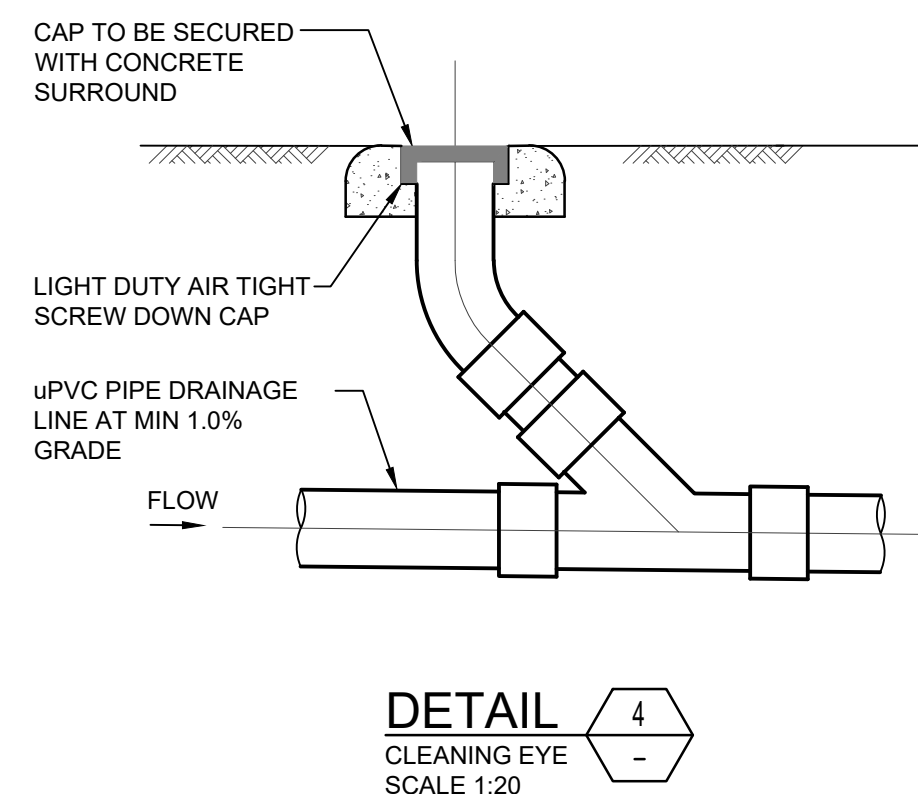
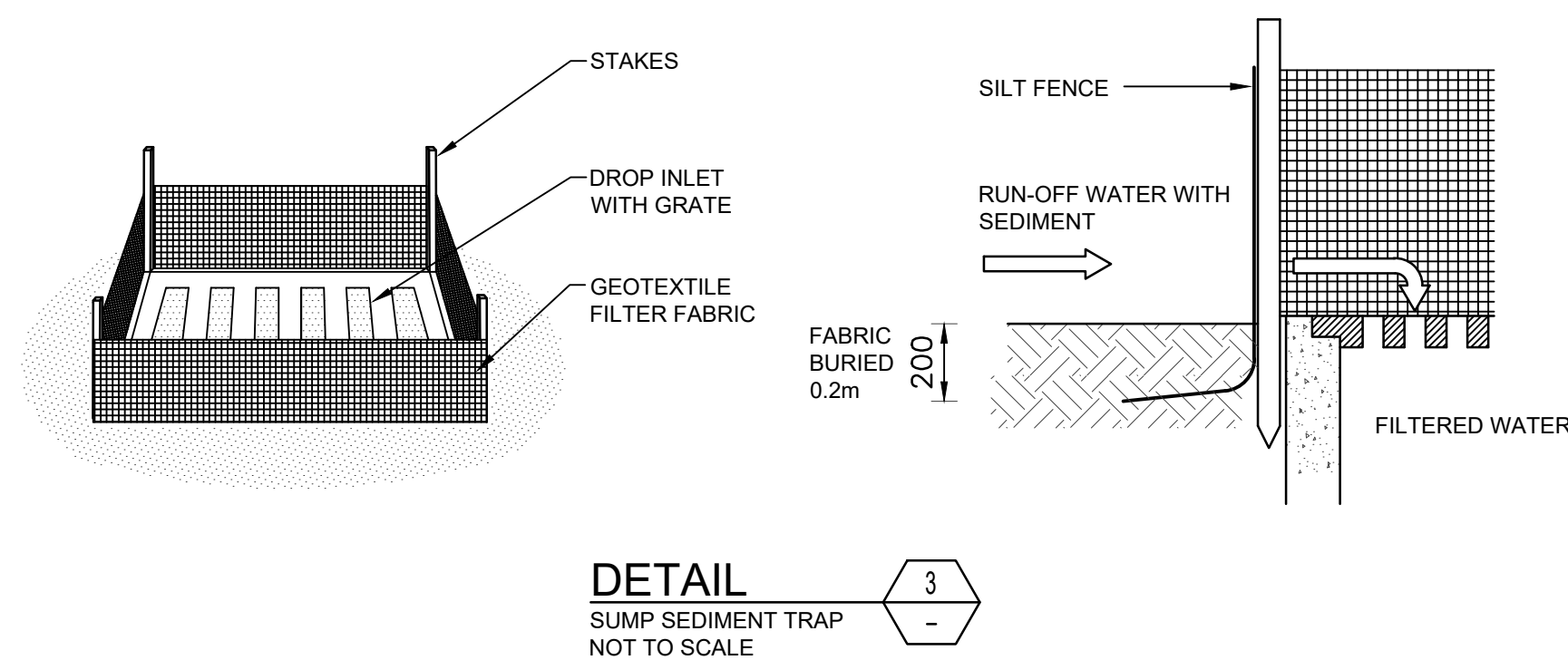
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AMENDED TO SUIT COUNCIL COMMENTS	G.E.	G.E.	G.E.	E	23.09.20	Project number
FOR APPROVAL	G.E.	G.E.	G.E.	F	01.11.21	GC20022
						Drawing number
						SW04
						Original Size
						A1
						Scale
						1:100



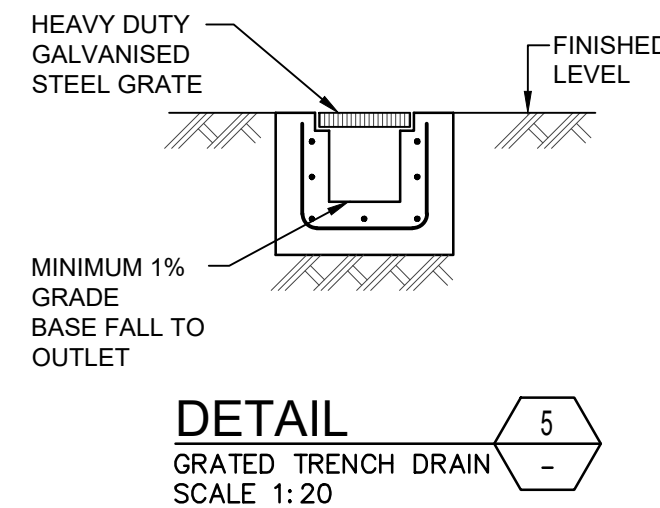
DETAIL
SEDIMENT FENCE
NOT TO SCALE



DETAIL
TEMPORARY
CONSTRUCTION EXIT
NOT TO SCALE



DETAIL
STORMWATER PIT
SCALE 1:20



DESIGN NOTES:

THE SITE IS LOCATED IN CAMDEN COUNCIL.

SITE AREA = 2,054m² (BY CALC'S).

SITE IMPERVIOUS = 1,247.47m² (60%)

THE DEVELOPMENT CONSISTS OF CONSTRUCTION OF A CHILD CARE FACILITY WITHIN THE NEWLY SUBDIVIDED AREA OF GLEDSDOOD HILLS.

THE STORMWATER SYSTEM WILL BE DISCHARGED TO A COMMUNAL OSD BASIN VIA GLEDSDOOD HILLS DRIVE. THEREFORE, NO OSD IS REQUIRED AS PER CAMDEN COUNCIL DCP 2011.

LANDSCAPE AREA APPROX 40%. THEREFORE, OSD IS NOT REQUIRED AS THE RESIDENTIAL ESTATES BASIN HAS CATTERED FOR 75% IMPERVIOUSNESS OF THE LOT.

ALL NEW STORMWATER PIPES TO HAVE A MINIMUM OF 100mm CONCRETE OR 300mm TOPSOIL COVER U.N.O.

INSTALL CLEAR OUT FOR INSPECTION AND MAINTENANCE PURPOSES, WHERE REQUIRED.

ALL STORMWATER PIPES ARE TO BE A MINIMUM OF 600mm CLEAR FROM EXISTING SEWER LINE (TYP).



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Signature

Client
-
Architect
BUILDING DESIGN & TECHNOLOGY P/L
Project
PROPOSED CHILD CARE CENTRE
Address
2073 GLEDSDOOD HILLS DR, GLEDSDOOD HILLS

Scale
0m 0.2 0.4 0.6 0.8 1.0
SCALE 1:100 ON ORIGINAL SIZE
SCALE 1:20 ON ORIGINAL SIZE

Northpoint
North arrow pointing up and slightly to the right

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Project number	Drawing number	Original Size	Scale
GC20022	SW05	A1	1:100

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DETAILS SHEET